

Royal Borough of Windsor & Maidenhead

Waste Management Planning

Advice note

www.rbwm.gov.uk



This guide has been produced to inform developers of The Royal Borough of Windsor and Maidenhead's requirements for refuse and recycling storage for residential developments.

All planning applications require suitable and appropriate facilities (for the storage, segregation and subsequent removal and/or disposal of waste and recyclable materials) such as bin stores, recycling bin sites and composting areas to be provided as an integral part of any new residential development.

Residential developments

All new developments of one or more dwellings shall be designed to accommodate refuse and recycling bins and containers in a way that readily facilitates the collections without the storage facilities causing harm to visual amenity or to the amenity of residents (both neighboring residents and future occupiers of the development). Other than for outlining planning permission, full details of the refuse and recycling storage, including siting, floor plans and elevations, will need to be submitted with the planning application. Consideration of waste management and the suitable storage of refuse and recycling should be considered from the outset and therefore it will not be acceptable in most cases to reserve approval of such details for approval by condition. Waste management facilities should be well-designed. Poor design is in itself undesirable, undermines community acceptance of waste facilities and will be rejected.

Wheeled refuse containers are used across the whole of the borough of Windsor and Maidenhead and all new developments and individual new properties, including those provided through change of use, must be designed to accommodate this method of refuse collection. The minimum requirement for each house will be two wheeled bins and one food waste container.

In providing any new development, regards must be given to the provision of on-site storage for waste and recycling material. All planning applications, both commercial and residential, will be required to take account of the Council's recycling targets and incorporate additional space for the storage of waste for recycling. Any scheme provided must have regard to local conditions and reflect these accordingly.

It will be expected that all new build residential buildings and conversions and changes of use will provide dedicated on-site storage space for waste and recyclable material. In cases where there is no external space for storage then internal storage is required.

Specification

The Royal Borough of Windsor and Maidenhead (RBWM) has a statutory duty under the Environmental Protection Act 1990 to remove domestic residual waste from domestic properties.

The Council may also, under section 46, specify the type and number of receptacles to be used and where they shall be placed to ensure compatibility with the council collection methods.

Additionally the EU Directive has also set targets to reduce the amount of biodegradable municipal waste landfilled as highlighted below.

Timetable for compliance by member states (and UK)	Reduction in biodegradable municipal solid waste landfilled (down to)
2006 (2010)	75%
2009 (2013)	50%
2016 (2020)	35%

Requirement

Solid waste storage

- 1) Adequate provision shall be made for storage of solid waste
- 2) Adequate means of access shall be provided
 - a) For people in the building to the place of storage, and
 - b) From the place of storage to a collection point specified by waste collection authority and/or contractor

Wheeled bins are used throughout the borough. They must comply with the Council's specification and must be compatible with the lifting equipment on the collection vehicles. At present the Council uses the following colours of wheeled bins and receptacles:

Houses and individual flats

- 180ltr Black Bin – non-recyclable waste
- 240ltr Blue Bin – mixed recyclable waste
- 240ltr Green Bin – garden waste (subscription)
- 23ltr Brown Caddy (external) – food waste

Communal Flats

- Black Bin – non-recyclable waste
- Blue Bin – mixed recyclable waste
- Brown Bin – food waste

Individual properties should be allocated the bins as listed above

Communal flats should have bulk "Eurobin" type containers of either 1100ltr or 660ltr capacity for rubbish and recycling depending on the number of properties in the development. For food waste flats should have 140ltr containers.

As guidance the allocation of capacity per property for communal flats is

- 95L per bedroom + 30L per dwelling

As an example, if there is a block of flats with 30 2 bed apartments and 10 3 bed apartments you would carry out the following calculation:

- $30 * ((95 * 2) + 30) = 30 * 220L = 6600L$
- $10 * ((95 * 3) + 30) = 10 * 315L = 3150L$
- $(6600 + 3150) = 9750L$

This would then be split as follows:

- i) 55% Recycling
- ii) 40% Refuse
- iii) 5% Food

Resulting in the following volume and bins for each waste type (rounded up)

- i) $5362L = 5 \times 1100L$
- ii) $3900L = 3 \times 1100L + 1 \times 660L$
- iii) $487L = 3 \times 140L$

Wheeled bin dimensions are as follows:

Volume (Litres)	Height (mm)	Width (mm)	Depth (mm)	Weight (kg)	Max Load (kg)
140	1054	510	560	12	70
180	1064	560	570	13	85
240	1063	585	740	16	120
360	1090	600	880	23	160
660	1190	1220	770	50	310
1100	1470	1380	1090	65	450

Charges

From the 1st April 2016 all new bins will be subject to a charge based on a per property basis.

- This charge will be £70 per dwelling

As an example

- i) A development of two 3 bed houses would be subject to a charge of £140.
- ii) A development of ten 2 bed flats would be subject to a charge of £700

This is irrespective of bin type provided as outlined in the requirement section.

Containers will not be delivered until a bin store is in place. If residents move in before this, then alternative arrangements will need to be made by the developer for the collection of waste.

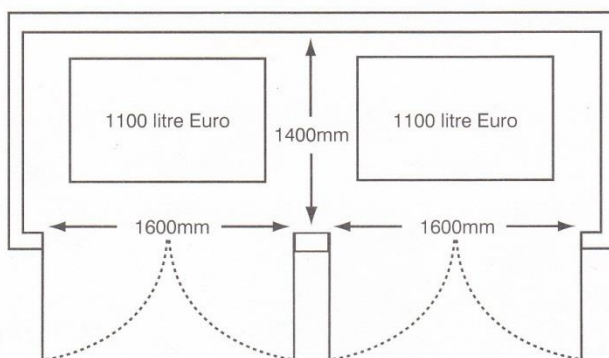
We recommend cardboard collections are also made available when residents first move in, to avoid capacity issues within the bin store.

External bin area design and layout

The following diagram shows a suggested possible ideal layout for 1100ltr Eurobins and is only to illustrate one practical layout. A minimum clearance of 150mm is required around all sides of each of the bins. Design and choice of construction materials for the bin area will depend upon the individual site. The bins should be placed side by side so that residents do not have to squeeze past to access other bins.

All bin storage areas must have:

- i) adequate lighting – natural and/or artificial;
- ii) good natural ventilation if completely enclosed e.g. high and low level air bricks;
- iii) a smooth, easily cleanable floor e.g. paving or concrete float finished;
- iv) the floor laid to a fall with suitable drainage;
- v) a suitable enclosure e.g. wooden fencing, brick or concrete walls.



In addition, communal bin storage areas for flats and maisonettes should have:

- i) a notice showing which properties are entitled to deposit refuse;

- ii) suitable “bump strips” provided internally on doors and walls to help prevent damage from loaded bins;
- iii) lockable double doors with a clear opening of at least 1500mm and a facility to hold doors open during collection.

Ensuring compliance

If planning permission is forthcoming, conditions, or in some cases a Legal Agreement, will normally be used to secure the construction and retention of storage for refuse and recycling. The non-compliance with a planning condition or Legal Agreement may result in enforcement action being taken against the owner of the site.

Access to and from bin storage areas

Wheeled bins cannot be taken up or down steps. To ensure that refuse collection crews can safely get the bins to the collection vehicles, access paths should be at least 1.2 metres wide with a maximum gradient of 1:12.

The maximum carry distance for collection crews is 10m from the bin storage area to the collection vehicle.

It is therefore necessary to show all relevant areas of hard surfacing on site plans, and to include a site survey indicating any change in levels from the refuse storage area to the property edge. The surface of the path shall be smooth, continuous and hard wearing. Dropped kerbs (with a 6mm-10mm upstand) should be provided where access paths meet the roadway and bins shall not have to pass through designated parking spaces or bicycle storage areas.

The maximum carry distance for residents is 25m for houses and 9m for flats.

Waste and Recycling Services provided by the Royal borough of Windsor and Maidenhead, use a range of vehicles.

Where a vehicle is required to enter a site a vehicle movement plan is required. All vehicles are rear steering; this means that the vehicle movement plan should allow clearance of all walls and bollards on the site with this in consideration.

BS 5906:2005 recommends a minimum street width of 5m for waste collection vehicles. However, Manual for Streets recognises that smaller general widths are likely to be acceptable, for example where on-street parking is discouraged.

There is a preference to drive forwards into and out of any site. Where this is not possible, a plan should be made to reverse into the site and drive out forwards. Manual for streets suggests a maximum reversing distance of 12m.

Consideration should always be given to the swing needed to gain access onto a site. If the road is narrow and cars park on one side, it is inevitable that the vehicle truck will not be able to swing in to gain the access.

The vehicle movement plan should bring the rear of the vehicle to within 10 metres of the bin store, with sufficient clearance to operate the lifting mechanism.

The plan should allow sufficient time to stop without causing an unnecessary obstruction. Roadways used by refuse vehicles must be designed to withstand a laden weight of not less than 26 tonnes. Any manhole cover or gully grating in these roads shall be of a heavy duty 'Grade A' type.

Minimum vehicle clearances

Recycling Dimension	Size
Length	10.96m
Height	3.9m
Width	2.49m
GVW	26t

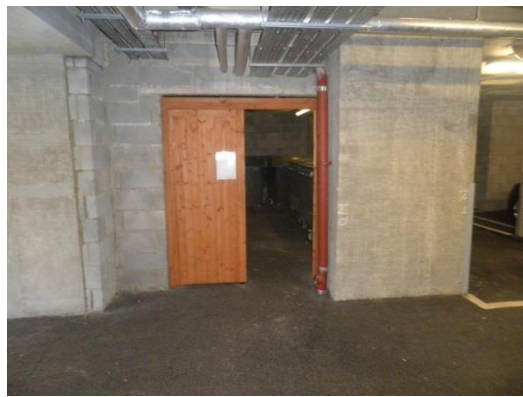
Refuse Dimension	Size
Length	10.79m
Width	2.49m
Height	3.8m
GVW	26t

Green Waste Dimension	Size
Length	9.6m
Width	2.49m
Height	3.72m

GVW	26t
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For developments incorporating both commercial and residential premises the refuse bins must not be stored in the same location or must be clearly signed so as to avoid contamination. The submitted plans for mixed use developments should clearly annotate which refuse storage areas are for the residential element and which are for the commercial element.

Examples of existing bin stores



For further information

If you require further advice regarding the provision of, or storage for wheeled bins please contact the Waste Team on 01628 683801